

PROJECT TEAM:

PAVING REPLACEMENT: STATE FAIR OF TEXAS




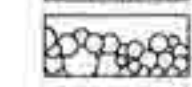


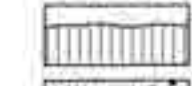

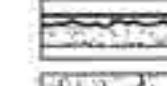






THE MIDWAY, FAIR PARK DALLAS, TEXAS 75210

STATE FAIR OF TEXAS
4300 PENNSYLVANIA AVENUE
DALLAS, TEXAS 75210

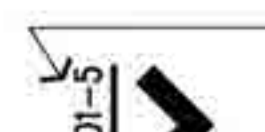



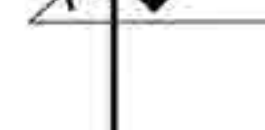





ERN ARCHITECTS, INC.
10711 PRESTON ROAD, SUITE 250
DALLAS, TEXAS 75230

ERN Architects, Inc. and Edward Russell Nelson are rendering a professional service, the essence of which is the providing of advice, judgement, opinion or similar professional skill.

MATERIALS :

 Undisturbed Soil Or Select Fill	 Steel	 Batt Insulation
 Granular Fill	 Wood Framing	 Rigid Insulation
 Top Soil	 Wood Blocking	 Lath & Plaster
 Concrete	 Gypsum Board	 CMU
 Masonry	 Plywood	 E.I.F. System

SYMBOLS :

 PAGE NO.	 PARTITION TYPE	 NORTH	 ELEVATION
 DETAIL NO.	 ELEVATION	 DIRECTION ARROW	 WINDOW
		 DOOR	 REVISION

GENERAL NOTES :

- Plans, sections, elevations, details and other drawings are not to be scaled for determination of qualities, lengths, or fit of materials.
- The various chapters of necessity will overlap in certain areas and are not designed to be mutually exclusive.
- Pages shall be numbered with the chapter number first, followed by a decimal point, then the number sheet.
- Detail numbers shall follow the sheet number.
- This set of documents is presented in two (2) packages: Drawings and Specifications.
- The Project Manual may contain both drawings and specifications.
- These drawings and specifications indicate the general scope of the project in terms of architectural design concept, major architectural elements, as well as size and location of those elements. The drawings & specifications do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract Documents. On the basis of the general scope indicated or described, the Contractor shall furnish all items required for acceptable execution of the work.
- Provide fire stopping in accordance with Underwriter's Laboratories Designs at penetrations in new walls or floor assemblies that are designated as rated smoke or fire barriers or where un-rated walls or floors are specifically noted to be sealed. At rated walls the fire stopping shall be in compliance with standards required by Underwriter's Laboratories.
- When penetrating existing floor and wall assemblies contractor shall confer with Building Official to determine type of fire stopping required.
- In renovation, remodel or restoration projects the drawings may not document sizes and locations of architectural elements when they are existing. It is the Contractor's responsibility to locate and measure existing elements.
- Contractor shall review & coordinate requirements of the drawings before beginning fabrication or installation of the work. Contractor shall report discrepancies or conflicts in writing to architect.
- Owner and Contractor shall comply with all local, state and federal architectural barrier and ADA requirements.
- The Contractor shall examine and become familiar with all Contract Documents in their entirety. Survey the project and become familiar with the existing conditions and scope of work. All costs submitted shall be based on thorough knowledge of all work and materials required. Any discrepancy and/or uncertainty as to what material or product is to be used should be verified with the Owner or Architect prior to execution of contract with Owner.
- All construction shall comply with applicable federal, local and state codes and amendments.
- All site work and landscaping is to be established and designed by the civil engineer and landscape architect.
- The Contractor shall be solely responsible for construction means, methods, techniques, sequences and procedures required for safe execution and completion of the work, and for initiating, maintaining and supervising all safety precautions and programs in connection with the work.
- Any errors, omissions or inconsistencies on these drawings or any variations or ambiguities between these drawings and actual site and construction conditions and/or requirements shall be brought to the attention of the Architect in writing prior to commencement of the work.
- Contractor shall verify all dimensions in the field and notify the architect of any discrepancies prior to construction.
- Contractor shall verify all measurements at site and be responsible for accuracy and correctness.
- These drawings do not contain complete specifications, details and information required for the interior finishes of the project. Additional information shall be obtained from the Owner.
- The Contractor shall verify the size, location, openings and characteristics of all work and equipment to be furnished by the Owner or others with the manufacturer or supplier before starting any construction related to said work and/or equipment.
- Refer to civil drawings for dimensional control plan and grading.
- Refer to civil drawings for fire hydrant locations.
- Refer to civil drawings for curb cuts.
- The Contractor shall bear the total expense for and shall repair the existing facility, due to any damage caused by contractors operations or personnel, including underground utilities, piping, conduit or equipment.
- Specified products have been used in preparing the Contract Documents to establish minimum qualities. Adequate supporting information must accompany all substitution submittals and must be submitted to the Architect within 30 days after contract award to receive consideration.
- The Contractor shall verify all rough openings.

INDEX OF DRAWINGS :

CHAPTER 1 - GENERAL INFORMATION 1.00 Cover Sheet	CHAPTER 4 - BUILDING ENVELOPE Not Needed	CHAPTER 6 - CEILING Not Needed
CHAPTER 2 - SITE IMPROVEMENTS 2.00 Partial Site Plan Area A 2.01 Partial Site Plan Area B 2.02 Details	CHAPTER 5 - PLANS & INTERIORS Not Needed	CHAPTER 7 - SCHEDULES Not Needed
CHAPTER 3 - STRUCTURAL Not Needed		CHAPTER 8 - MEP Not Needed

14.			
13.			
12.			
11.			
10.			
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	CLIENT APPROVAL - CD	05-03-2017	05-06-2017
NO.	ISSUE	SUBMITTED	APPROVED

DOCUMENTS SHALL BE CONSIDERED "PRELIMINARY" UNTIL ALL APPROVALS ARE OBTAINED.

ERN
ARCHITECTS

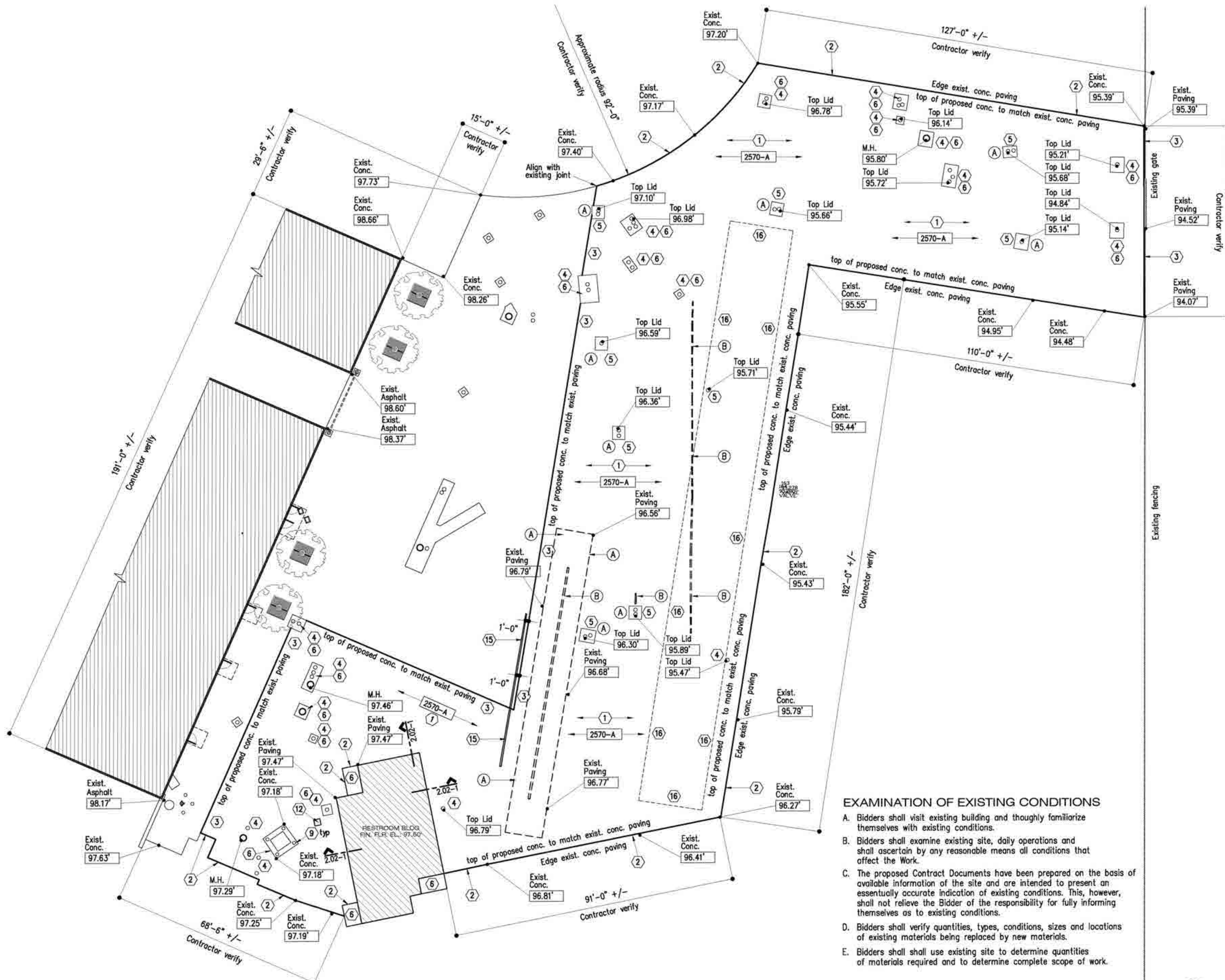
PAVING REPLACEMENT:
THE MIDWAY
FAIR PARK
DALLAS, TEXAS
STATE FAIR OF TEXAS

STATE FAIR OF TEXAS
4300 PENNSYLVANIA AVE.
DALLAS, TEXAS 75210

CONSTRUCTION DOCUMENTS
COVER SHEET
PROJECT NO.: 19000 DRAWN: ERN

REVISIONS

1.00
PAGE 1 OF PAGES



SITE PLAN NOTES:

1. 6 inch thick, 3500 psi concrete with #4's @ 18" o.c.e.w. over compacted, min. 6 inch thick, compacted, flexible base.
2. Limit of new concrete paving. Match elevation @ existing concrete paving. Refer to detail 2.02-2.
3. Limit of new concrete paving. Match elevation @ existing asphalt paving.
4. Existing metal utility box to remain. Protect from damage.
5. Adjust height of existing metal utility box. Protect from damage.
6. Existing concrete paving to remain. Protect from damage.
7. Ramp paving up to fin. flr. elevation. slope not to exceed 1:48, min. of 5'-0" from entry doors.
8. Existing fire hydrant to remain. Protect from damage.
9. Existing bollards to remain. Protect from damage.
10. Existing pole light and conc. base to remain. Protect from damage.
11. Existing cast iron tree grates, salvage for re-use. Protect from damage.
12. Existing area drain and grate to remain. Protect from damage.
13. Adjust height of existing water utility box. Protect from damage.
14. Existing metal, overhead signage and supports to remain. Protect from damage.
15. Existing metal, linear area drain to remain. Protect from damage.
16. Boundary of approximate location where Owner shall install underground utilities, Contractor shall coordinate work with SFT staff during installation of utilities. Owner shall provide metal utility boxes and lids, Contractor shall install utility boxes.

DEMOLITION NOTES:

- A. Remove existing concrete
- B. Remove existing linear drain.

EXAMINATION OF EXISTING CONDITIONS

- A. Bidders shall visit existing building and thoroughly familiarize themselves with existing conditions.
- B. Bidders shall examine existing site, daily operations and shall ascertain by any reasonable means all conditions that affect the Work.
- C. The proposed Contract Documents have been prepared on the basis of available information of the site and are intended to present an essentially accurate indication of existing conditions. This, however, shall not relieve the Bidder of the responsibility for fully informing themselves as to existing conditions.
- D. Bidders shall verify quantities, types, conditions, sizes and locations of existing materials being replaced by new materials.
- E. Bidders shall use existing site to determine quantities of materials required and to determine complete scope of work.



PAVING REPLACEMENT:
 THE MIDWAY
 FAIR PARK
 DALLAS, TEXAS
 STATE FAIR OF TEXAS

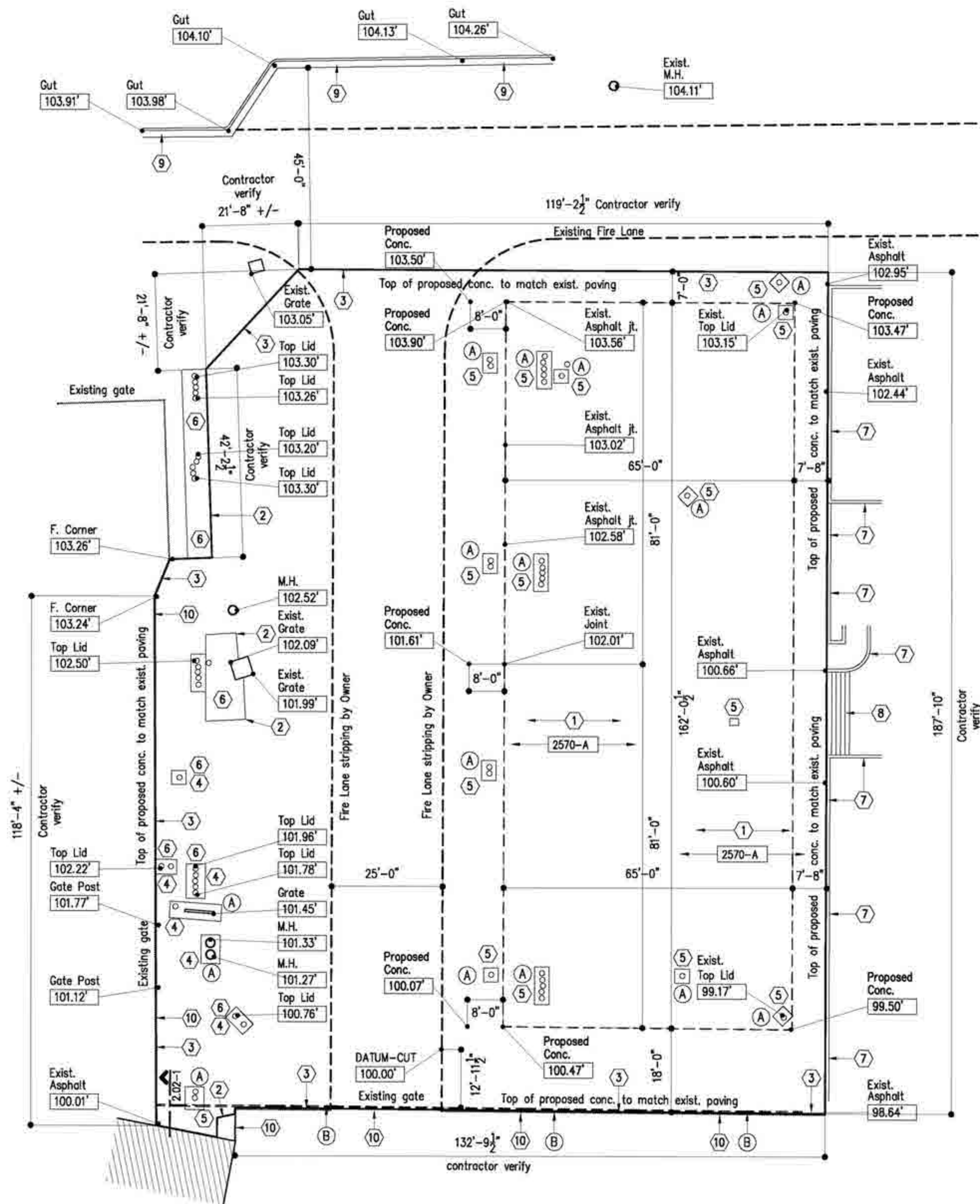
STATE FAIR OF TEXAS
 4300 PENNSYLVANIA AVE.
 DALLAS, TEXAS 75210

CONSTRUCTION DOCUMENTS
 PARTIAL SITE PLAN
 AREA A
 PROJECT NO.: 19000 DRAWN: ERN

REVISIONS	
2.00	PAGE OF PAGES

2.00-1 PARTIAL SITE PLAN-AREA A
 1/16" = 1'-0"





2.01-1 PARTIAL SITE PLAN-AREA B
 1/16" = 1'-0"



SITE PLAN NOTES:

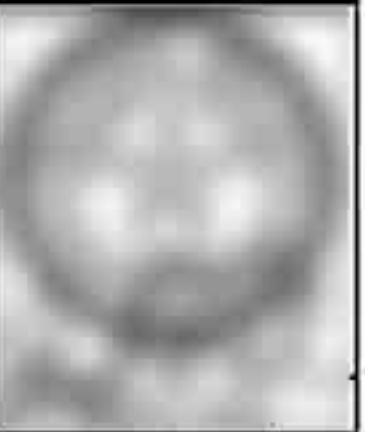
- 6 inch thick, 3500 psi concrete with #4's @ 18" o.c.e.w. over compacted, min. 6 inch thick, compacted, flexible base.
- Limit of new concrete paving. Match elevation @ existing concrete paving. Refer to detail 2.02-2.
- Limit of new concrete paving. Match elevation @ existing asphalt paving.
- Existing metal utility box to remain. Protect from damage.
- Adjust height of existing metal utility box. Protect from damage.
- Existing concrete paving to remain. Protect from damage.
- Existing concrete wall to remain. Protect from damage.
- Existing concrete steps and handrails to remain. Protect from damage.
- Existing concrete curb & gutter to remain. Protect from damage.
- Existing fencing to remain. Protect from damage.

DEMOLITION NOTES:

- A. Remove existing concrete
- B. Remove existing linear drain.

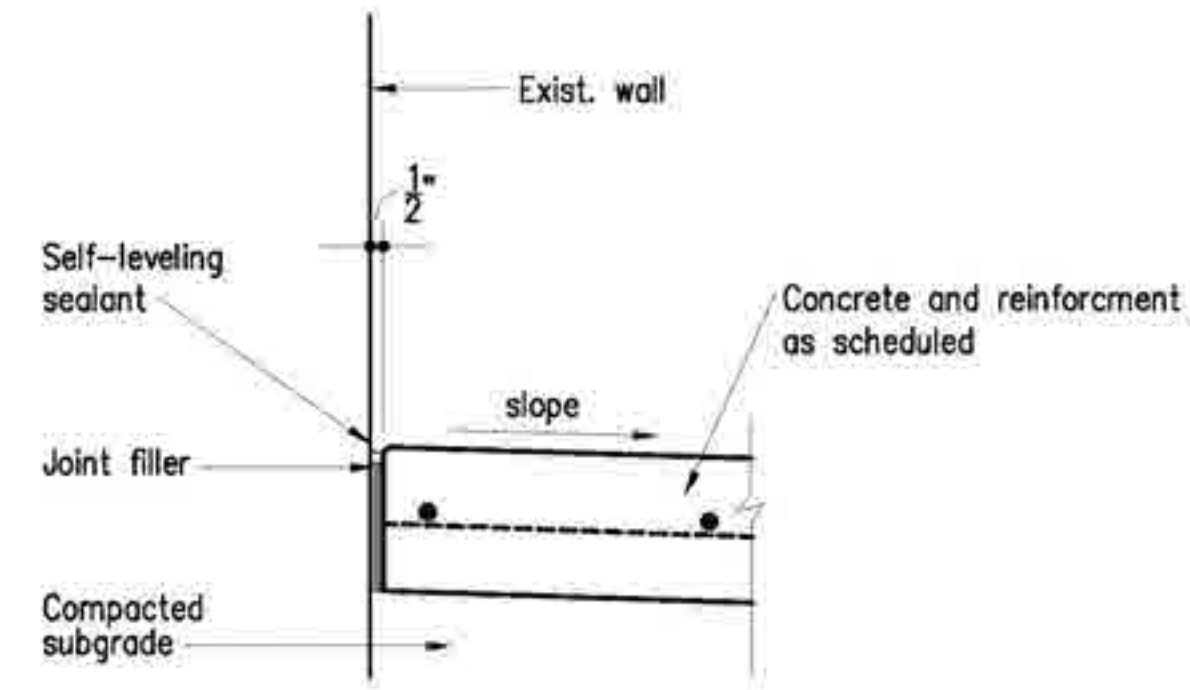
EXAMINATION OF EXISTING CONDITIONS

- Bidders shall visit existing building and thoroughly familiarize themselves with existing conditions.
- Bidders shall examine existing site, daily operations and shall ascertain by any reasonable means all conditions that affect the Work.
- The proposed Contract Documents have been prepared on the basis of available information of the site and are intended to present an essentially accurate indication of existing conditions. This, however, shall not relieve the Bidder of the responsibility for fully informing themselves as to existing conditions.
- Bidders shall verify quantities, types, conditions, sizes and locations of existing materials being replaced by new materials.
- Bidders shall use existing site to determine quantities of materials required and to determine complete scope of work.

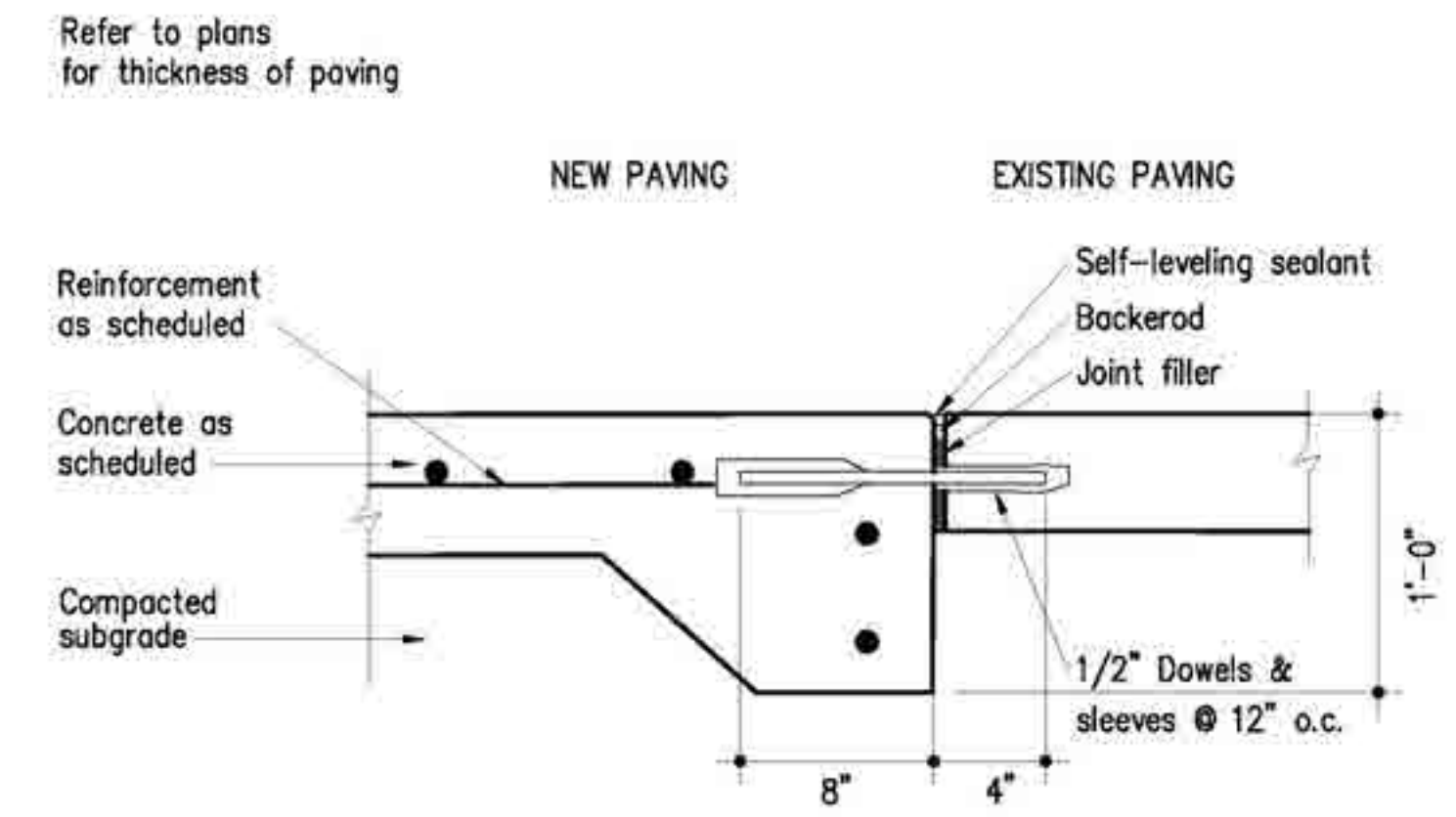


REVISIONS

NO.	DESCRIPTION



2.02-1 DETAIL
1 1/2"=1'-0"



2.02-2 DETAIL
1 1/2"=1'-0"

REVISIONS